

PARKS BOARD MEETING - South Whidbey Aquatic Center Project Budget

- Original ROM Budget
- SD Plans and Estimate Results
- Delta and Main Drivers
- VE Paths Forward
- Discussion

ROM budget

ORIGINAL BUDGET

Pool Project Budget ROM - April 2023

Building Construction Costs = \$18M

Site Construction Costs = \$ 2M

Non-Construction Costs = \$ 7M

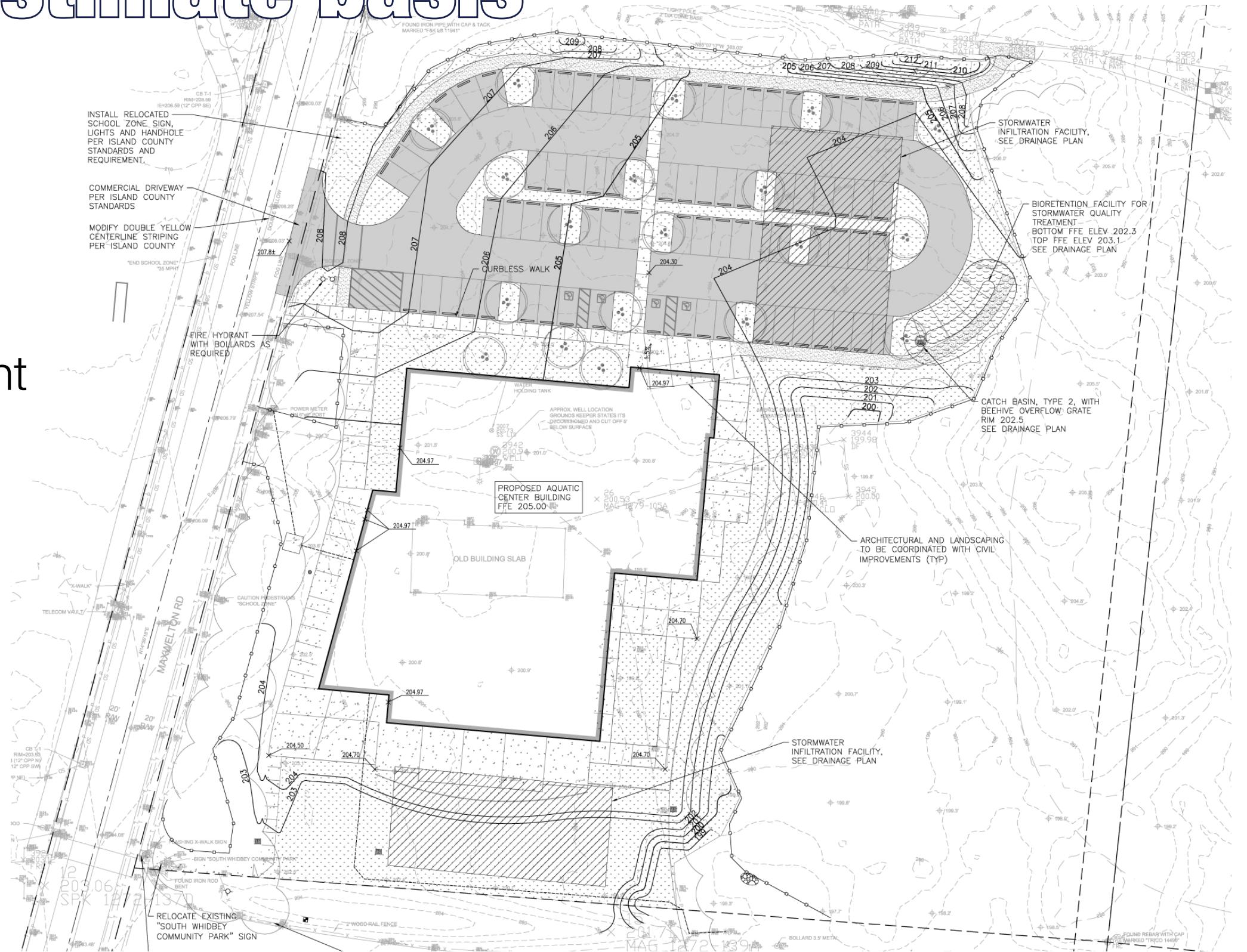
Total Project Budget = \$27M

assumed building cost/sf at \$600 - \$650/sf

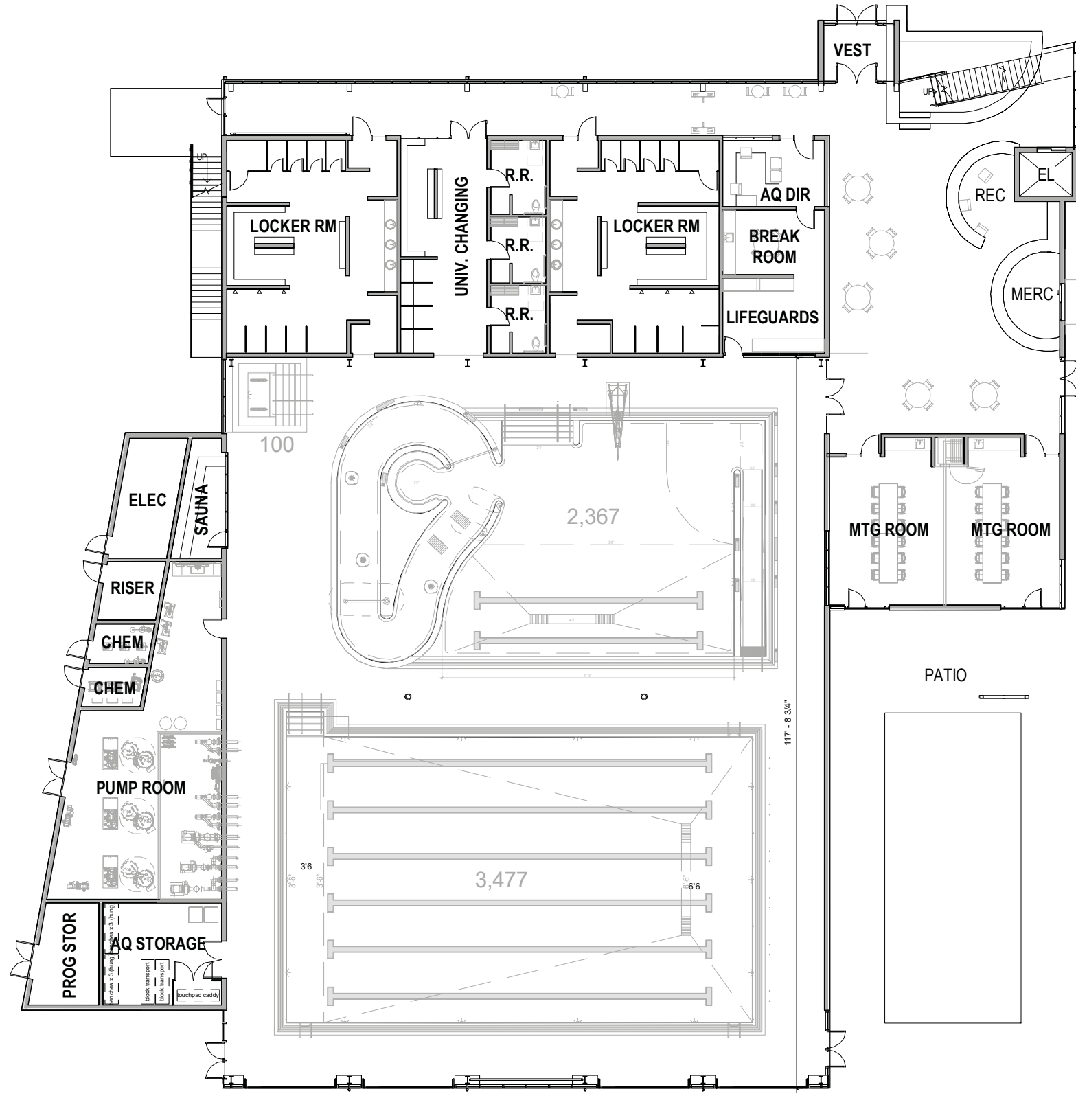
*ROM estimate based on 2019-2021 projects w/ 6% escalation added

SD site plan - estimate basis

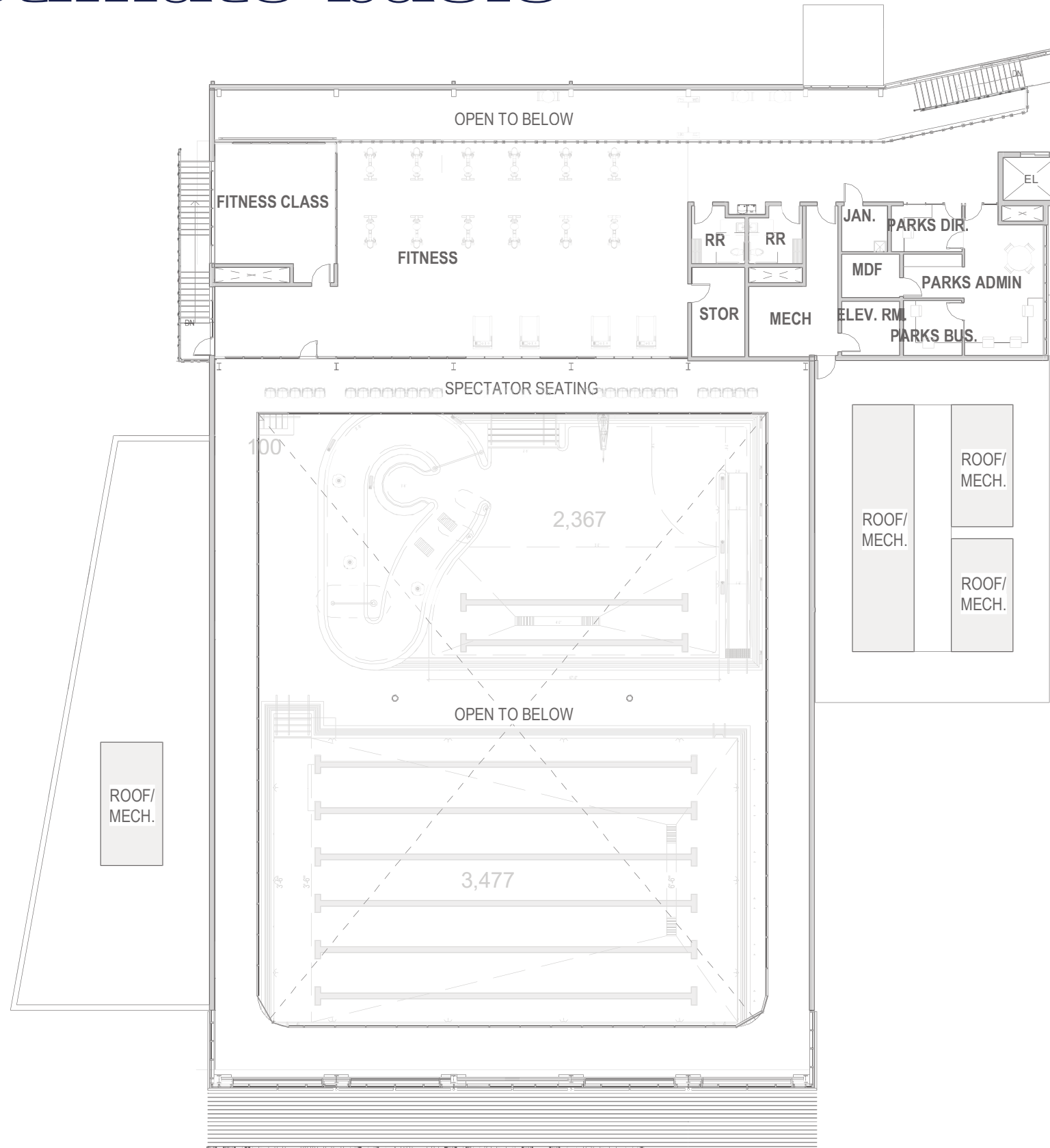
- 74 Parking stalls
- Stormwater management
- Water supply extension
- Septic extension
- Roads & sidewalk
- Patio and fences



SD 1st floor - estimate basis



SD 2nd floor - estimate basis



SOUTH WHIDBEY AQUATIC CENTER
SCHEMATIC DESIGN - AUGUST 2023



SD DESIGN COST ESTIMATE

		ROM
Building Construction Costs	= \$23.4M	(\$18M)
Site Construction Costs	= \$ 5.8M	(\$ 2M)
Non-Construction Costs	= \$ 7.5M	(\$ 7M)
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Total Project Budget	= \$36.7M	(\$27M)

Delta = \$9.7M

actual building cost/sf at \$800/sf

-Vetted estimate from third-party estimator (DCW) - see Appendix

Driver A: SITE COSTS

Cost estimate exceeds typical costs and early ROM from Parks.

Primary issues:

Septic system - \$2.1M

Water supply - \$0.7M

Bottom-line site construction cost estimate is \$5.8M

\$4M over ROM estimate

Water System Analysis South Whidbey Park & Recreation District

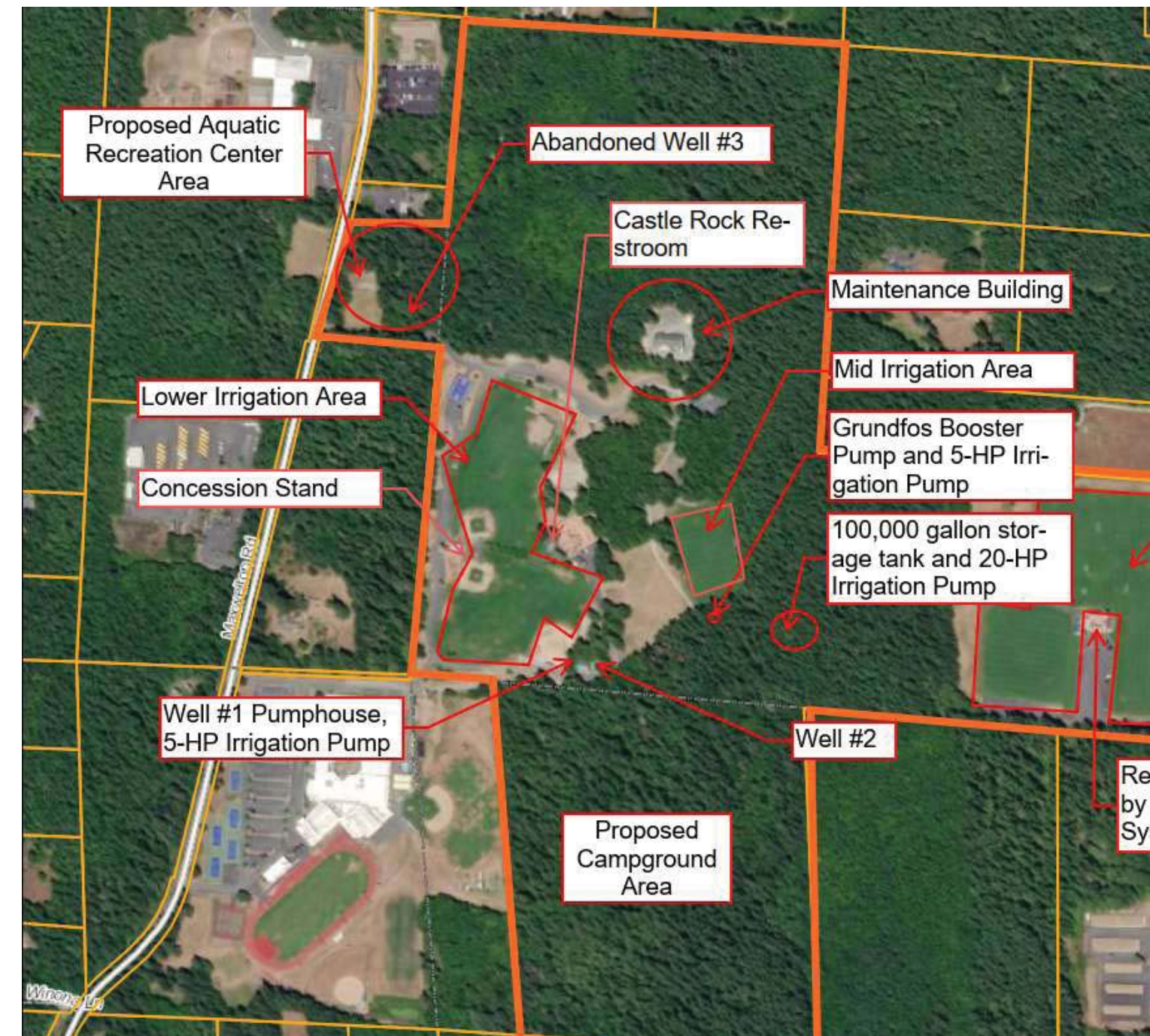


Fig 1 from 2020 report

Driver B: ESCALATION

Industry escalation expected to be 6% - 8% annually over last 3 years. Construction costs have actually increased significantly more since 2020.

- Pool Cost - 1.5 - 2.0 x
- Mechanical - 1.5 - 2.0 x
- Electrical - 1.5 - 2.0 x
- Steel costs spiked and now has leveled out
- Labor is a big driver in increased costs.

delta and drivers

Delta in cost/sf between ROM and SD estimates

Target Areas for Building Design at ROM estimate

$$\$18\text{M} / \$650 = 27,700 \text{ sf}$$

Actual current cost/ sf = **\$800/ sf**

$$27,700 \text{ SF} \times \$800 = \$22\text{M}$$

The estimate has been thoroughly vetted by the engineers and design team, reducing and aligning scope and estimates. The estimate has been reduced as much as possible. Additional reductions need to be through scope reduction or alternate funding. See following options.

OPTIONS FOR MOVING FORWARD

- Low Hanging Fruit
- Not Recommended VE Options
- Path 1 - VE option with Additional Funding
- Path 2 - VE option 2nd Floor
- Additional Consideration

VE paths forward - **low hanging fruit**

As the name implies, this grouping of value engineering options are both easily accomplished reductions to the cost estimate as well as ‘must-takes’ in order to get on budget. They are primarily **reduced finishes, material changes, reductions to hard- and soft-scape landscaping**, and other items which do not impact the programmatic offerings of the Center. The full list of these items can be found in the appendix under the heading ‘low hanging fruit’. The design team recommends taking all of these items.

Total savings from ‘LHF’ = *\$2,483,898

* dollars shown are bottom-line Project Costs (construction + non-construction)

VE paths forward - **don't recommend**

Conversely, this grouping of value engineering options are considerations that have been studied as possible reductions to the estimate, but for various reasons **(technically infeasible, do not meet code, don't result in significant savings, etc.)** do not pencil out. The full list of these items can be found in the appendix under the heading 'don't recommend'.

Total savings from 'don't recommend' = \$0

VE paths forward - **pathway 1** (w/ additional funding)

Pathway 1 includes a cut to a programmatic offering in the form of **the elimination of the walking track, reduction to the natatorium height (which was driven by the walking track), and the elimination of an egress stair required by the walking track.** There are considerable technical and user-experience challenges to the walking track which carry significant cost risks to the facility. The design team recommends that the walking track be included in the gymnasium in future Phase 2. For additional information, see altered floor plans on subsequent page and the appendix under the heading 'Pathway 1'.

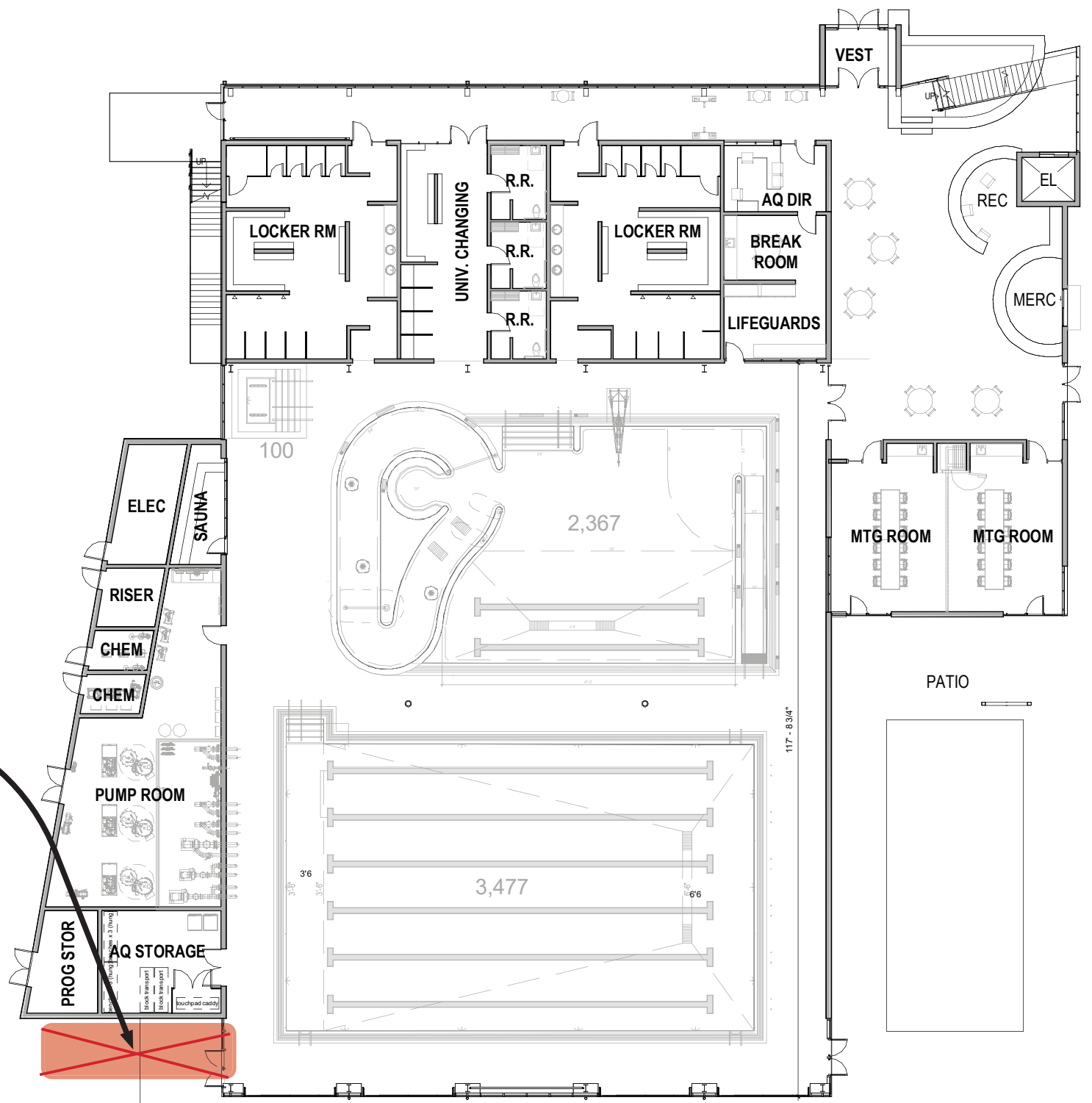
Total savings of 'path 1 + LHF' = *\$4,519,992

* dollars shown are bottom-line Project Costs (construction + non-construction)

Pathway 1 requires \$5,133,753 in alternate or private funding sources to bring the estimate into alignment with the budget



VE paths forward - pathway 1 (w/ additional funding)



Eliminate 3rd stair

floor plan 1 (VE savings)



SOUTH WHIDBEY AQUATIC CENTER

SCHEMATIC DESIGN - AUGUST 2023

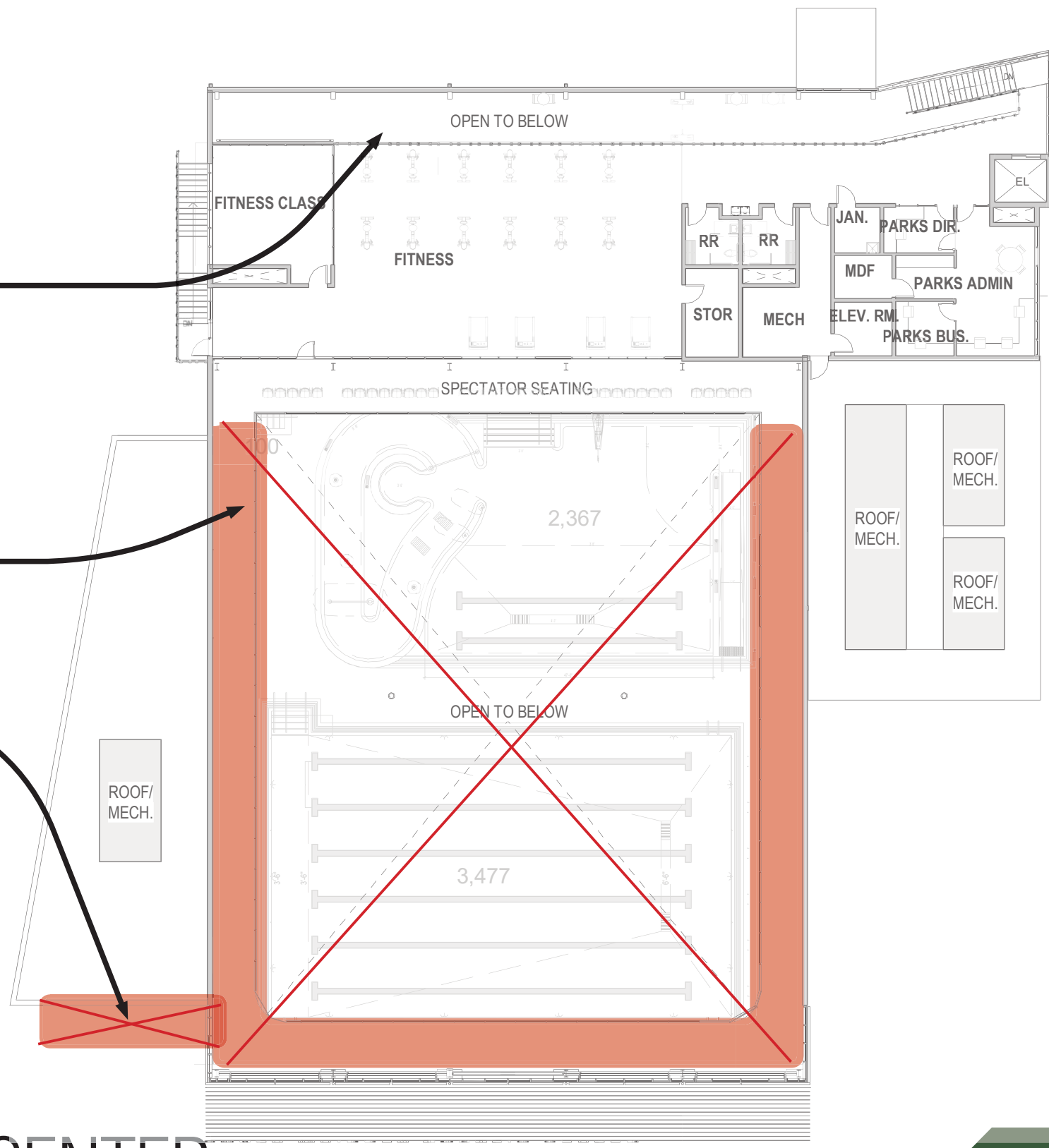


VE paths forward - **pathway 1** (w/ additional funding)

Remove acoustics at hall

Eliminate walking track

Eliminate 3rd stair



floor plan 2 (VE savings)



SOUTH WHIDBEY AQUATIC CENTER

SCHEMATIC DESIGN - AUGUST 2023



VE paths forward - **pathway 2** (2nd floor removed)

Pathway 2 does not include any additional cuts to the programmatic offerings of the center, however functions currently located on the second floor are moved to the first floor allowing the second floor to be eliminated entirely. In so doing, **the relocated functions differ in that the fitness component is smaller and would share space with the party rooms through scheduling and the spectator seating would need to be located on the pool deck.** All other relocated functions are accommodated on an approximately 1:1 basis. For additional information, see altered floor plans on subsequent page and the appendix under the heading 'Pathway 2'.

Total savings of 'path 2 + path 1 + LHF' = *\$9,455,868

* dollars shown are bottom-line Project Costs (construction + non-construction)

Pathway 2 brings the project to within the margin of error of the \$27M target without alternate or private funding sources



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arc
architecture resource collaborative

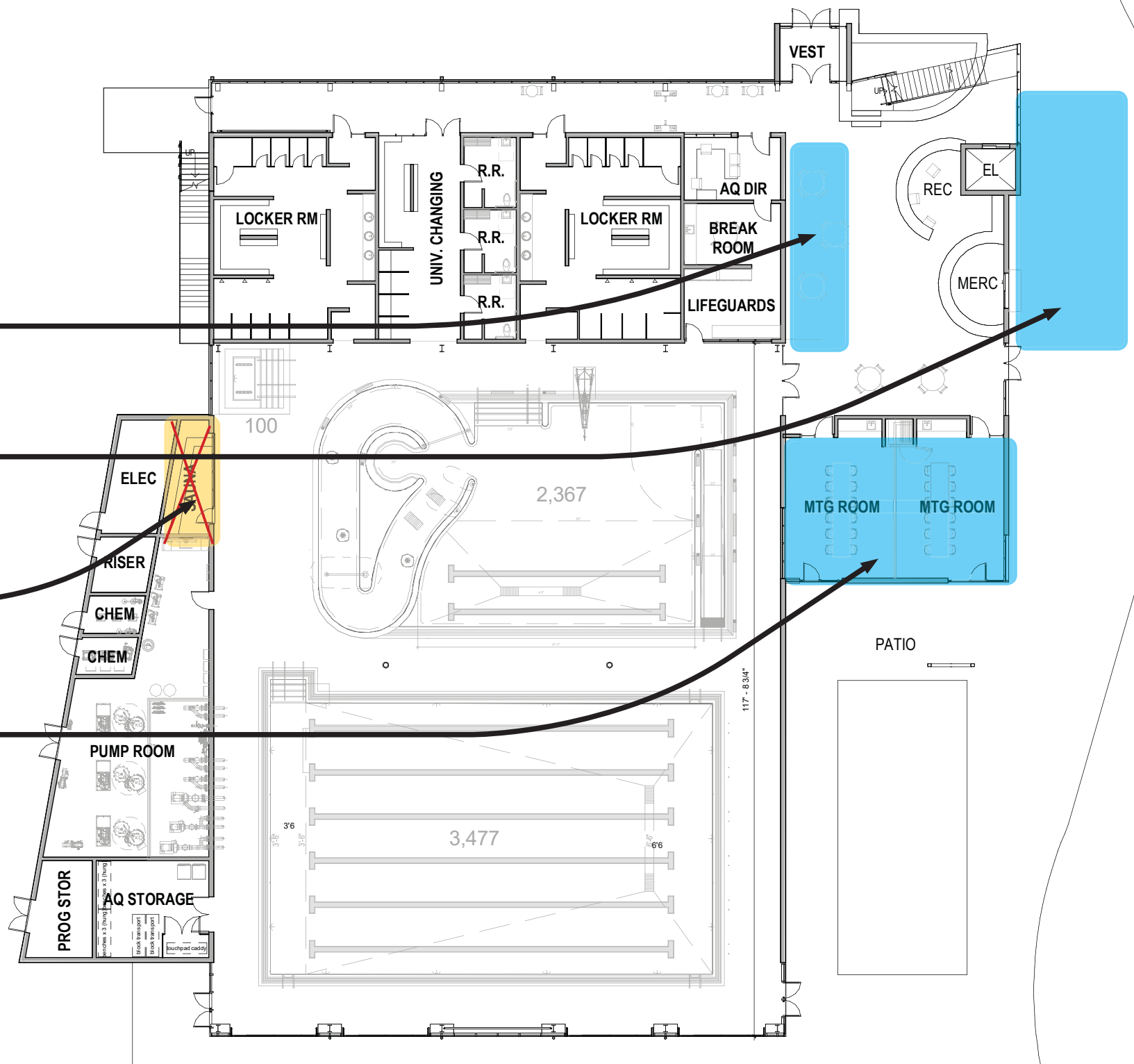
VE paths forward - pathway 2 (2nd floor removed)

Mechanical (500 sf)

Parks Admin (1,000 sf)

Eliminate sauna

Party rooms/fitness class



floor plan 1 (VE savings)



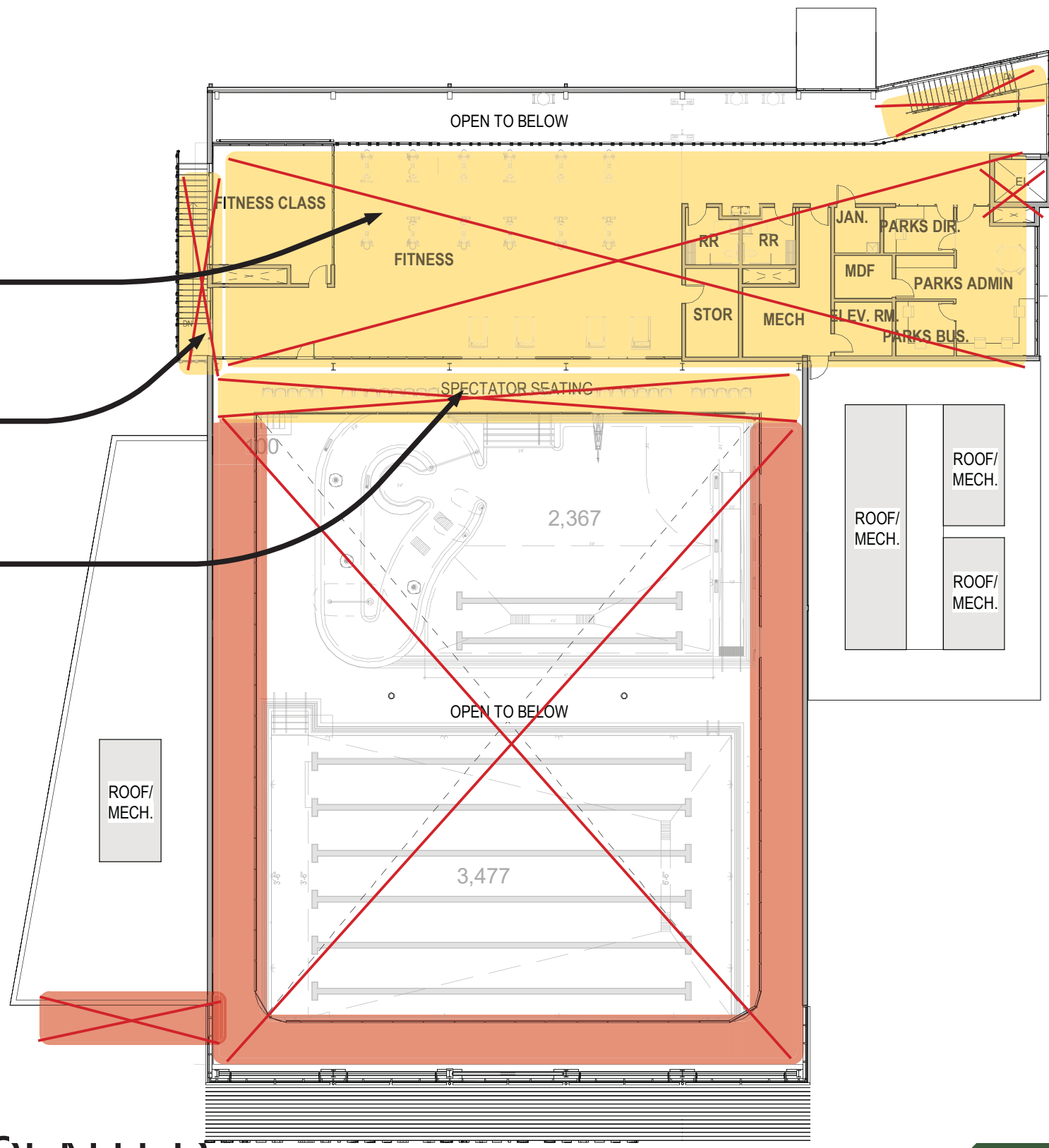
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VE paths forward - pathway 2 (2nd floor removed)

- Eliminate second floor
- Eliminate elevator and stairs
- Eliminate spectator seating



floor plan 2 (VE savings)

SOUTH WHIDBEY AQUATIC CENTER

SCHEMATIC DESIGN - AUGUST 2023



VE paths forward - **pathway 3** (other thoughts)

Other ideas for the Board's consideration:

- Alternate funding for bringing water to the site
- Change roof structure: CLT to Acoustic Deck
- Change heat source: Heat Pump to Propane
- Recreational pool moves to the south patio as seasonal outdoor pool w/ potential to enclose in future
- Redesign to a previously not pursued floor plan layout
- Employ bid alternates for any of the items eliminated in paths 1 and 2 above

additional discussion

